

# DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: April 20, 2006

ITEM NO. \_\_\_\_\_

SUBJECT	<b>Redbird Property (formerly Redbird 75 Acres) 25-PP-2004</b>
REQUEST	<p>Request approval of Preliminary Plat for 17 single-family residential lots with amended development standards, as well as an entry feature, screen wall, and gatehouse on an 81-acre parcel.</p> <p><b>Related Policies, References:</b> General Plan: Trails Master Plan, Environmental Sensitive Lands Ordinance.</p>
OWNER	Brian MacDonald
APPLICANT CONTACT	Steven Voss LVA Urban Design Studio LLC 480-994-0994
LOCATION	Northwest Corner of North 118 <sup>th</sup> Street and the East Redbird Road Alignment
BACKGROUND	<p><b>Zoning.</b> The site is zoned Single Family Residential District with Environmentally Sensitive Lands Overlay (R1-190 ESL). The zoning district is intended for large lot single-family residential dwelling units.</p> <p><b>Context.</b> The proposed subdivision is located at the northwest corner of North 118<sup>th</sup> Street and the east Redbird Road Alignment. The Redbird Road Alignment is unimproved and inundated by rock outcroppings. The site is vacant, undeveloped, and contains generally undisturbed Upper Sonoran Desert vegetation. The site has several small hillside features in addition to a number of boulder outcroppings and ephemeral washes.</p> <p>The surrounding land uses and zoning are:</p> <ul style="list-style-type: none"><li>• North: Vacant land zoned Residential R1-190 ESL.</li><li>• South: Desert Summit Subdivision Single Family zoned R1-43 ESL, and R1-70 ESL.</li><li>• East: Vacant land zoned Residential zoned R1-190 ESL.</li><li>• West: Desert Summit Subdivision Single Family zoned R1-43 ESL and R1-70 ESL.</li></ul>
APPLICANT'S PROPOSAL	<p><b>Purpose of Request.</b> The proposed preliminary plat includes 17 lots on an 81-acre gross parcel for a density of .21 dwelling units per gross acre. The lots range in size from 172,237 to 236,285 square feet. The project will have a gated subdivision with access on North 118<sup>th</sup> Street.</p>

The applicant has identified boulders measuring six feet by six feet or larger on the ESLO boulder analysis exhibit. The boulder outcrops will be preserved and included within the NAOS. A majority of the hillside landform will be included in the NAOS area for the protection of peaks and ridges. Washes with 50 cubic feet per second or greater capacity will remain in place and protected by drainage easements. The proposed development envelopes will be used to preserve significant land features as well as sensitive areas throughout the site.

**Development information.**

- Existing Use: Open Desert
- Parcel Size: 81 Acres
- Number of Lots: 17
- Building Height Allowed: 24 Feet
- Gatehouse Elevation: 20 Feet
- NAOS Required: 33.7 Acres
- NAOS Proposed: 39.6 Acres

The proposed gatehouse exterior will consist of a combination of materials; adobe smooth synthetic stucco with 8-inch radius corners, painted green (Dunn Edwards, Ridgecrest DE6174, LRV=24), Stacked Stone (DC Ranch Fieldstone with custom grout color), Wood headers, fascias, and post (Hand Hewn Timbers, Stain with Spanish Moss, Cabot 0353 semi-transparent). The roof tile will consist of 2-piece clay tile (Redlands Rencanto Blend, Baja Mission, and fully mudded, irregular exposure. Custom grout color; 50% Café Gold, 50% Pinto Gold Flash Caps, 100% Café Antigua Pans).

A dry stack fieldstone construction will be used for the exterior of screen walls, retaining walls and the entry feature.

All landscape will be of native plant material indigenous to the site. The entry driveway will consist of exposed aggregate paving score joints (Color, Davis Yosemite Brown) at 5-foot on center. A portion of the entry driveway will consist of Cobblestone Pavers in heavy concrete bedding located in front of the gatehouse.

**Key Issues.**

- Roadways and easements within the proposed property boundary will be abandoned and replaced by tracts.
- Roadway dedication of N. 118<sup>th</sup> Street to include improvements.
- Trail will be provided along N. 118<sup>th</sup> Street.
- The project conforms to the ESL requirements approved May 21, 2004.
- Building envelopes will generally be areas outside of the boulder outcroppings, peaks and ridges.
- The site has upper desert and hillside landforms.
- Amended development standards for; lot size, lot width, and setbacks.
- An additional six acres of NAOS will be dedicated.

IMPACT ANALYSIS

**Traffic.**

The proposed subdivision will front one local street. One access is proposed off N. 118<sup>th</sup> Street. The N. 118<sup>th</sup> Street alignment will be improved from the Redbird Street alignment to the northern property boundary.

**Water/Sewer.**

The applicant will provide water and sewer to serve the project. The water and sewer basis of design report has been approved.

**Police/Fire.**

The City of Scottsdale police and fire departments will serve the subdivision. The proposal has been reviewed and meets the requirements of these agencies.

**School District.**

Cave Creek Unified School District has been notified of this application.

**Open space/Scenic Corridors/Trails.**

The site slope ranges between 0 and 25+ percent, with a large portion of the site in the 5-15% range. The site is required to provide 33.7 acres of NAOS, and is proposing 39.6 acres of NAOS to be dedicated on each lot. There will be no significant boulder features located outside of the proposed NAOS location.

**Community Involvement.**

The applicant conducted a mailing to property owners within 750 feet of the proposed subdivision.

The 5-acre parcel to the north of the proposed subdivision is positioned downhill from the proposed subdivision. The property owner was concerned about the possible location of the proposed buildings on the hillside. The applicant has been in communication with the property owner and is proposing to enhance the landscaping, the construction of a four-foot high stone-faced wall to provide screening, as well as adjusting the driveway on lot 6.

STAFF  
RECOMMENDATION

**Recommended Approach:**

Staff recommends approval, subject to the attached stipulations.



RESPONSIBLE  
DEPT(S)

**Planning and Development Services Department**  
Current Planning Services

STAFF CONTACT(S)

Greg Williams  
Senior Planner  
480-312-4205  
E-mail: gwilliams@ScottsdaleAZ.gov

**APPROVED BY**

  
\_\_\_\_\_  
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**ATTACHMENTS**

1. Applicant Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Context Site Plan
5. Overall Landscape/Site Plan
6. Amended Development Standards Justification
7. Preliminary Plat Plan (2 pgs)
8. Preliminary Development Envelope Plan
9. Entry Enlargement
10. Entry Elevations
11. Entry Perspective
12. Primary Monument sign/Landscape Feature Walls
13. Trails Circulation Plan
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements

# **REDBIRD PROPERTY**

## **N.W.C. OF 118<sup>TH</sup> STREET & REDBIRD DRIVE PROJECT NARRATIVE**

### **EXISTING CONDITONS**

The subject property comprises approximately 81 acres at the northwest corner of 118<sup>th</sup> Street and Redbird Road; Scottsdale, Arizona. Access to the property is off of 118<sup>th</sup> Street, which effectively terminates improvements at the southeast corner of the property. The existing Desert Summit single family community is located immediately south and west of the property (a combination of R1-43 ESL & R1-70 ESL zoning districts).

The site is vacant and undeveloped, exhibiting no indications of prior impacts with the exception of limited off-road vehicular scarring. The remainder of the site is generally undisturbed Upper Sonoran Desert vegetation at densities typical of the surrounding area. Natural desert vegetation across the site includes Palo Verde, Saguaro, Cholla, Bursage, Brittlebush and Cresote. Areas of prior disturbance will either be incorporated into proposed development areas or will be revegetated to match existing undisturbed vegetation at appropriate densities.

The site plan recognizes the existing topographic and drainage conditions throughout the site, emphasizing the use of development envelopes to preserve sensitive areas. The site hosts several small hill features in addition to a number of boulder outcroppings and ephemeral wash areas. Development envelopes will generally recognize these areas and lot envelopes will be delineated to preclude impact to them. The slope of the property generally falls to the southwest and northwest. Viewsheds surround the subject property with vistas of the Valley and McDowell Mountains to the south and west, and undeveloped areas to the east and north.

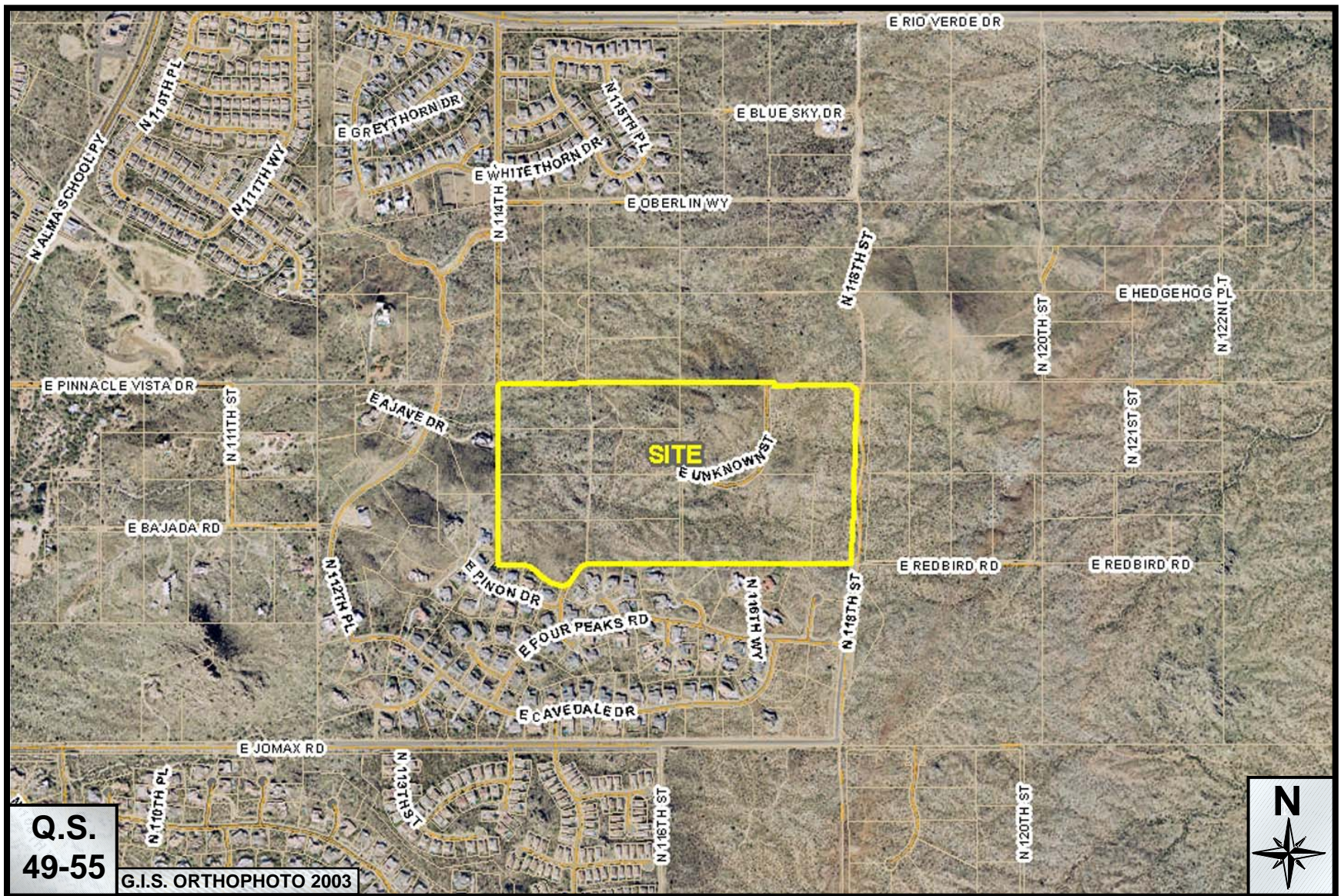
### **DEVELOPMENT PLAN**

The development plan for the subject property proposed seventeen (17) single family lots under the existing R1-190 ESL zoning district. The lots are distributed throughout the entirety of the property with a proposed access point along 118<sup>th</sup> Street. The project will be gated and the internal streets will be privately maintained. The internal local street network has been designed

to minimize impacts to existing wash corridors and reduce the total amount of street area within the project. There are no cuts and fills larger than eight (8) feet and, therefore, Design Review Board approval will not be required pertaining to this item. On-lot building envelopes have been specifically delineated to promote a sense of openness among adjoining lots and to protect sensitive natural features such as the identified wash corridors and vegetation areas. Development envelopes will be generally oriented to abut rear yards onto the wash corridors and designated open space areas. By recognizing these natural amenities, development impacts can be reduced while enhancing the overall aesthetics of the community for future residents. The natural area open space designation will be applied to most of the land area within the identified wash corridors, whereby protecting areas of greatest vegetation density. NAOS area will also be established adjacent to perimeter roadways and property boundaries, to provide buffering for the community and establish connectivity to existing natural areas off-site. In addition, portions of the overall NAOS area will be utilized for storm water retention and will be designed to blend into natural grades and contours. These facilities will also be revegetated with salvaged plant materials to aesthetically integrate into the natural landscape. The determination of the overall NAOS area was calculated by conducting a digital slope analysis of the property and applying the findings within the standards for the upper desert landform category as provided by the City of Scottsdale Zoning Ordinance.

In conclusion, the proposed site plan meets the requirements of the existing zoning ordinance for the R1-190 ESL district within the provisions for amended development standards. The application includes a request to amend development standards for lot width, lot size and building setbacks. Please see the Proposed Amended Development Standards Table and Amended Development Standards Justification Form for a detailed analysis of proposed modifications to the R1-190 standards.



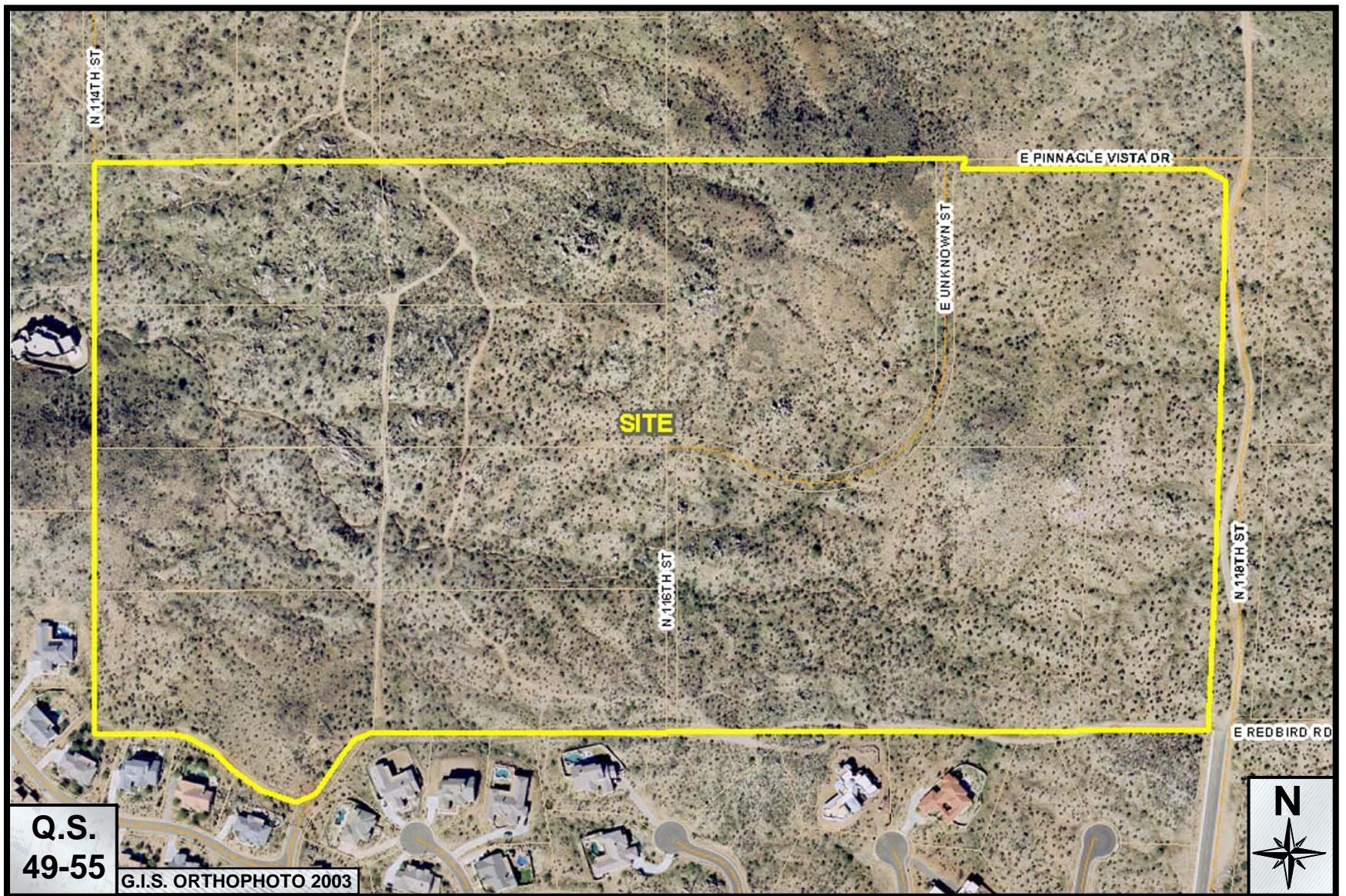


Redbird 75 Acres

25-PP-2004

ATTACHMENT #2



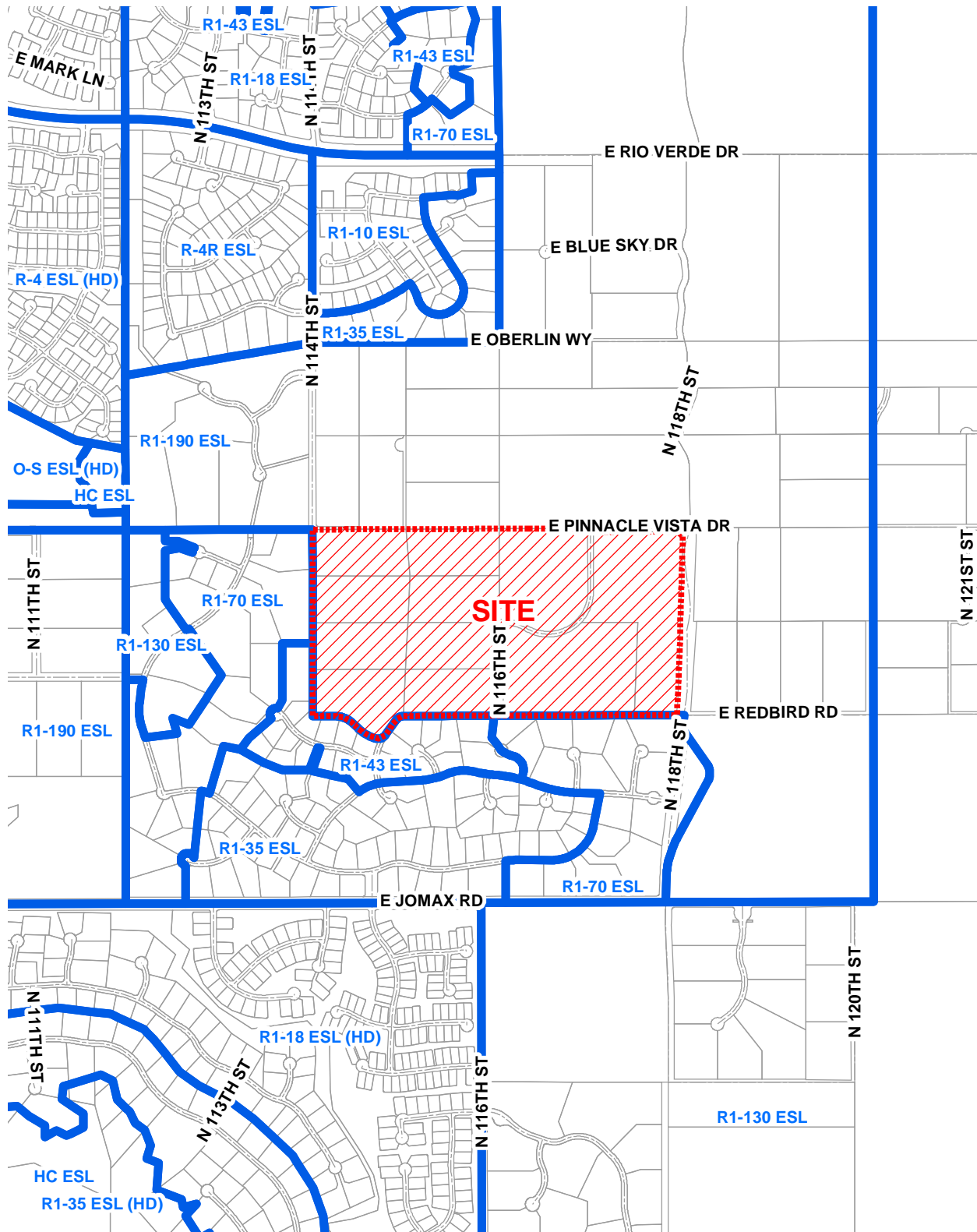


Redbird 75 Acres

**25-PP-2004**

ATTACHMENT #2A





25-PP-2004

ATTACHMENT #3

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## PRELIMINARY SITE PLAN DATA

Project Location: 118th Street & Redbird Road  
 Site Address (Cross): Rm 1 (+/-)  
 No. of Residential Units: 17  
 Family: 0.81436  
 Existing Zoning: R-190 EIR

Open Space:  
 Required NACG: 24.1 Ac  
 Provided NACG: 29.6 Ac

R-190 EIR Section 107 (per amended per. 10/10/03)  
 Min. Lot Area: 142,500  
 Front: 45  
 Side: 75  
 Rear: 25

Project Planning: Phase 1 of 1

Owner: Brian Macdonald  
 15 Sligh Way  
 Bellevue, WA 98005

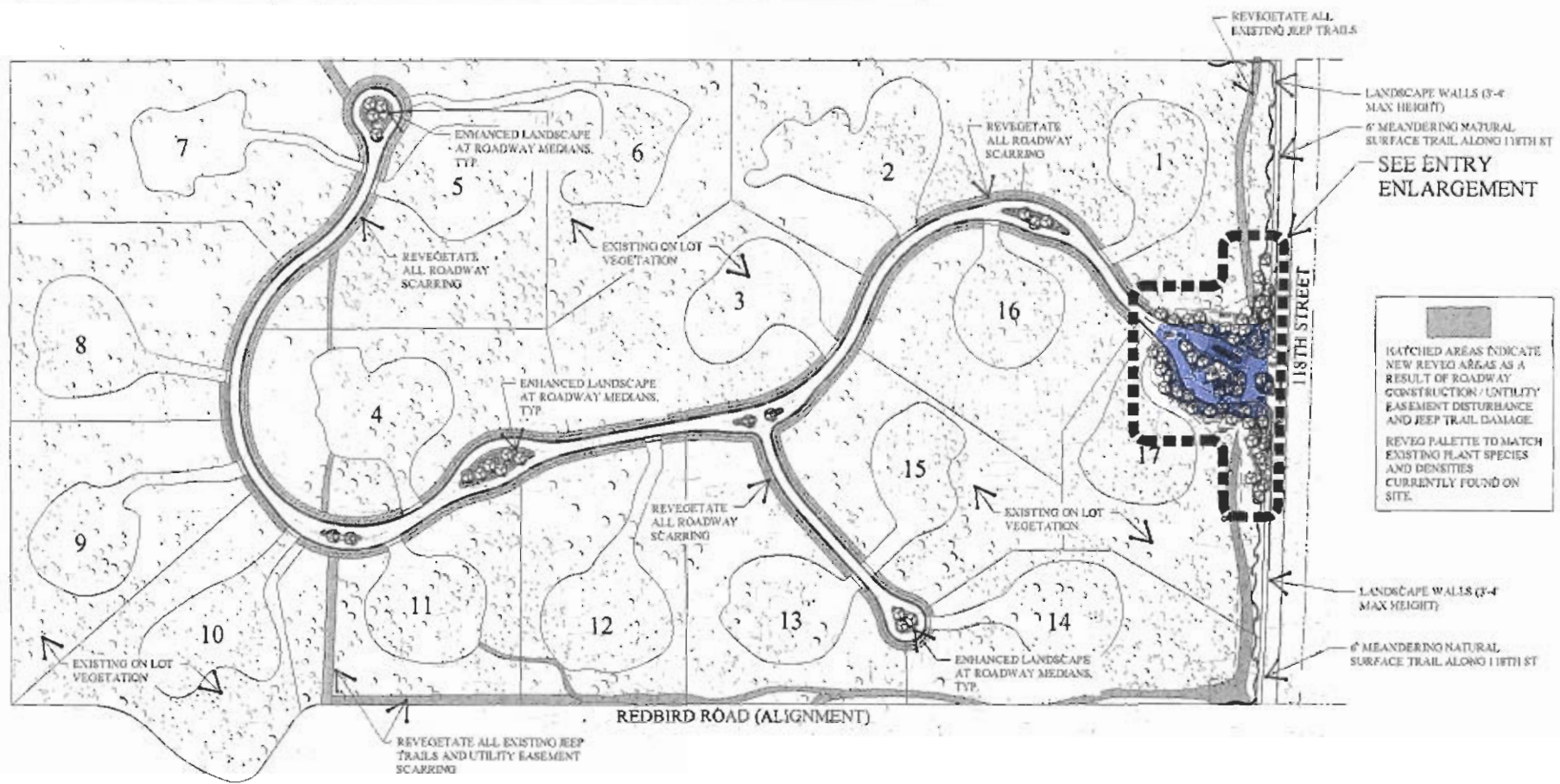
Applicant: LVA Urban Design Studio  
 7500 E. Main Street  
 Scottsdale, AZ 85251  
 P.O. 480.994.0994  
 Contact: Steven Voss

 Preliminary Building Footprints

## VICINITY MAP



25-PP-2004  
 REV: 3/24/2006



OVERALL LANDSCAPE / SITE PLAN



1" = 100'-0"

• SEE ENTRY ENLARGEMENT PLAN FOR PLANT PALETTE AND ADDITIONAL LANDSCAPE INFORMATION.

ATTACHMENT #5

**LVA**  
Urban Design  
Studio L.L.C.

Master Planning, Consulting,  
Site Planning & Design  
11111 Eastman Street  
Baltimore, MD 21206  
Phone: (410) 524-1111  
Fax: (410) 524-1112  
www.lva.com

# REDBIRD PROPERTY

118TH STREET AND REDBIRD

25-PP-2004  
REV: 3/24/2006

PRELIMINARY  
NOT FOR CONSTRUCTION

Date:  
1-06-06  
Job No.:  
0641  
Drawn:  
JMY  
Revised:



**REDBIRD PROPERTY**  
**Amended Development Standards Justification Form**  
**NWC of 118<sup>TH</sup> Street & Redbird Street**  
Please attach the proposed Development Standards to this form

**Which of the following development standards are requested for amendment?**

  X   Lot Size: % of increase or decrease   25%   Minimum Lot Size: 142,500 s.f.  
  X   Lot Width: % of increase or decrease   25%   Minimum Lot Width:  225'   
  X   Setbacks: % of increase or decrease   25%   Minimum Front Setback:  45'   
Minimum Rear Setback:  45'   
Minimum Side Setback:  23'   
       Sideyard Wall Setbacks: % of inc./dec.   N/A   Min. Sidewall Setback:  15' 

**What are the major environmental features on the site?**

The site contains a series of major and minor washes that are incorporated into the overall site plan as natural open space amenities within the development plan. Impacts to these areas will be generally restricted, with exception of necessary wash crossings for internal vehicular circulation. Drainage corridors have been established to address peak flows across the site and to maintain the integrity of these natural features as an amenity for future homeowners and as habitat for established species. These corridors also recognize the need for regional continuity and have been established in alignment with existing corridors to the north and northeast of the site.

**Describe how these reductions result in better protection of environmental features than if the property were developed using standard lot sizes and setbacks:**

Reductions to the development standards will allow building envelopes to better integrate within the existing natural environment, creating a balanced development scenario that acts to promote the preservation of significant wash corridors, habitat areas and other sensitive natural areas.

**What is the minimum NAOS required per ordinance?**  34.1 Acres 

**What is the amount of NAOS provided by the applicant?**  39.6 Acres 

**What is the percentage of the overall site (gross parcel size) being dedicated in NAOS?**  
 49% 

**Will the NAOS be shown in common tracts and dedicated on the final plat?**

  No  

**Will the NAOS be dedicated with each lot as it comes in for development?**

  Yes  

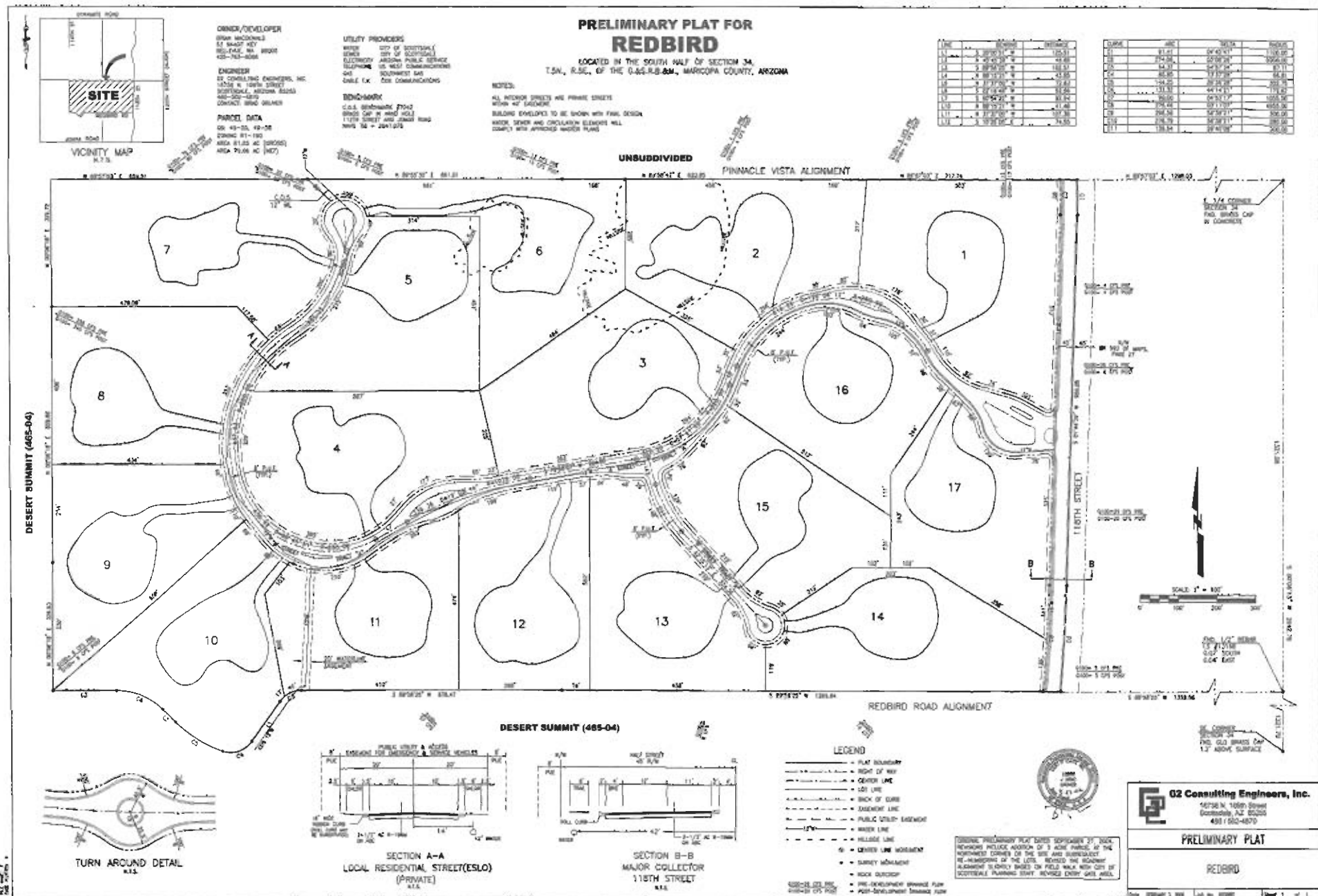
*If yes, explain how the City might achieve assurance that NAOS dedications are logical and connect with NAOS areas that will be or have been dedicated.*

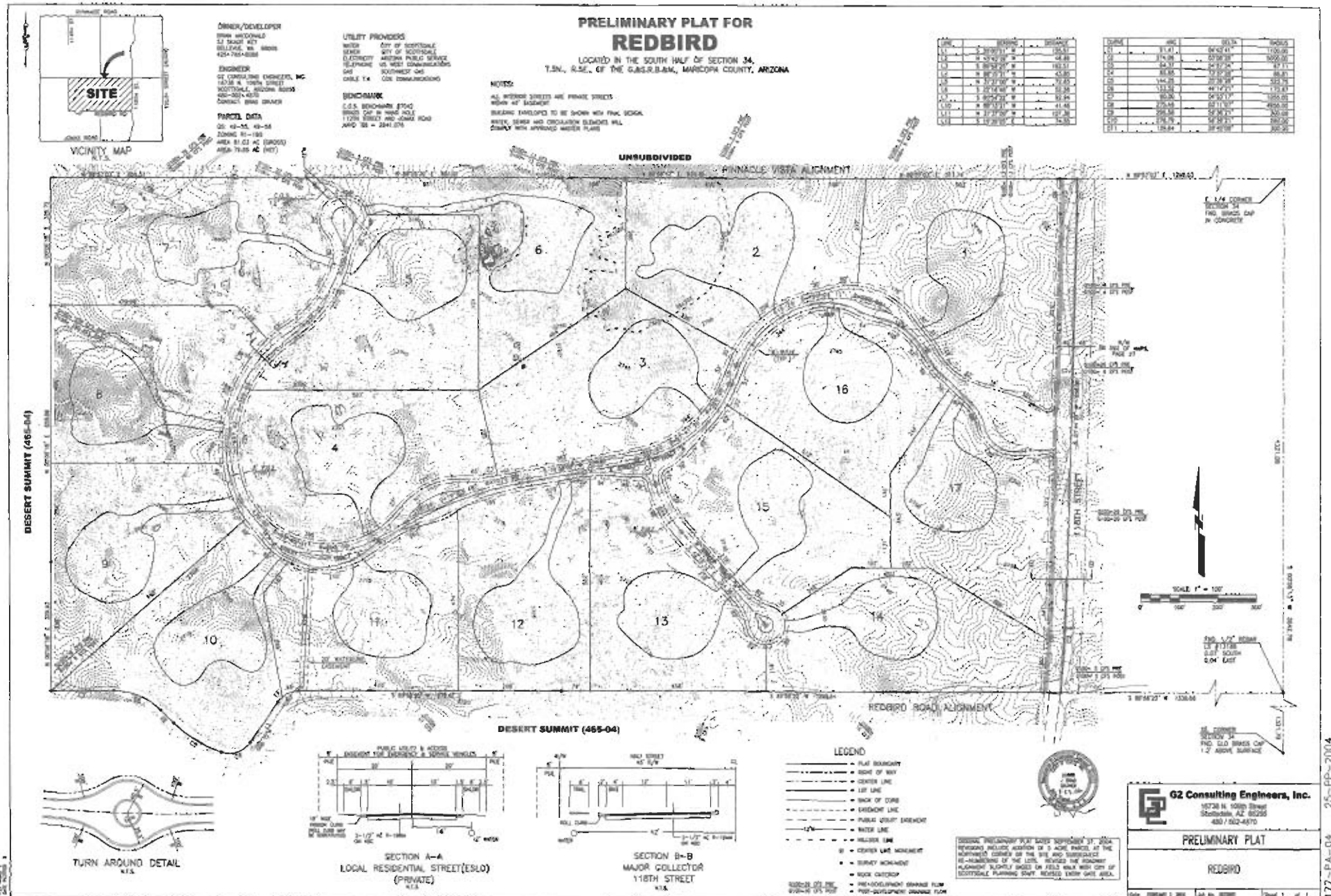
The final plat will include an NAOS easement dedication.

**Is the amount of NAOS being dedicated as part of the NAOS Density Incentive Provision of ESLO?**

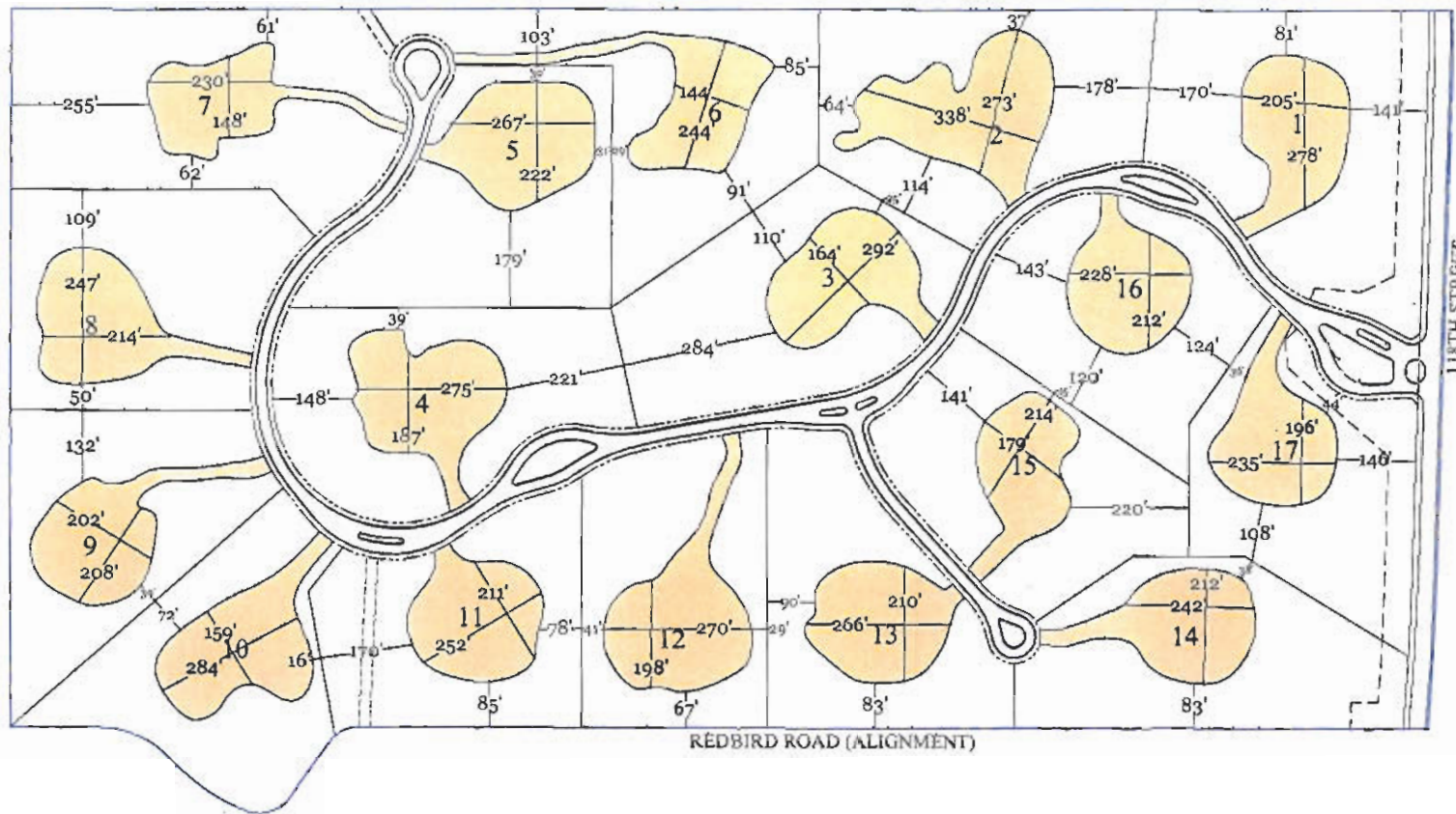
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25-PP-2004  
REV: 3/24/2006









# PRELIMINARY DEVELOPMENT ENVELOPE SUMMARY

LOT #	LOT AREA (SQ.FT.)	APPROXIMATE DEVELOPMENT ENV AREA (SQ.FT.)
1	236,285	48,785
2	209,632	67,079
3	195,207	50,541
4	200,293	55,297
5	185,576	52,892
6	196,376	48,895
7	239,613	41,027
8	195,680	51,075
9	177,326	47,496
10	176,169	52,732
11	175,223	46,980
12	177,013	58,513
13	176,880	47,886
14	184,701	47,464
15	176,630	41,816
16	175,869	44,616
17	172,237	46,176

## LEGEND

Preliminary Development Envelope Area with Average Conceptual Envelope Dimensions

All delineated NAOS areas and subsequent preliminary development envelope areas shall meet or exceed the ESL requirements as stated in Sec. 6.1060.F.1, concerning minimum widths and area of NAOS easements. Preliminary development envelopes shall also adhere to the amended setback standards for buildings and applicable on-lot improvements.

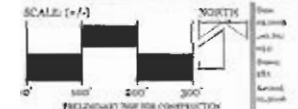
Envelope dimensions and configurations are preliminary and are for informational purposes only.

25-PP-2004  
REV: 3/24/2006

**LVA**  
Urban Design  
Studio L.L.C.

Notes:  
1. All dimensions are in feet.  
2. All dimensions are to the centerline of the road.  
3. All dimensions are to the centerline of the road.  
4. All dimensions are to the centerline of the road.

**REDBIRD PROPERTY**  
REDBIRD ROAD & 118TH STREET SCOTTSDALE, AZ  
PRELIMINARY DEVELOPMENT ENVELOPE PLAN

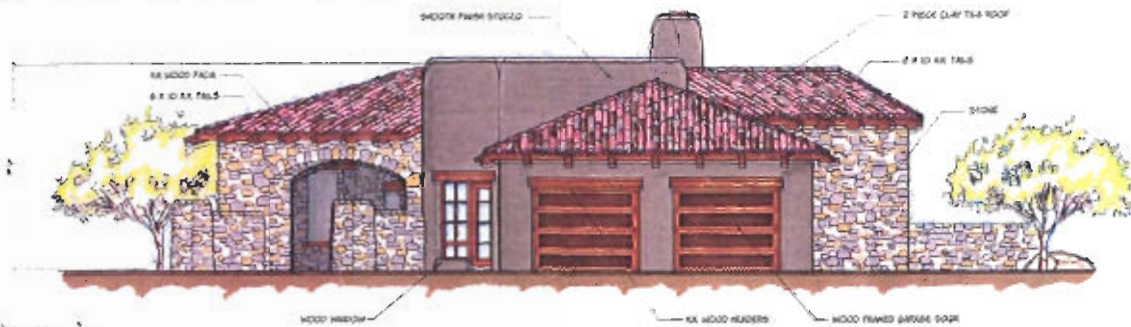








WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

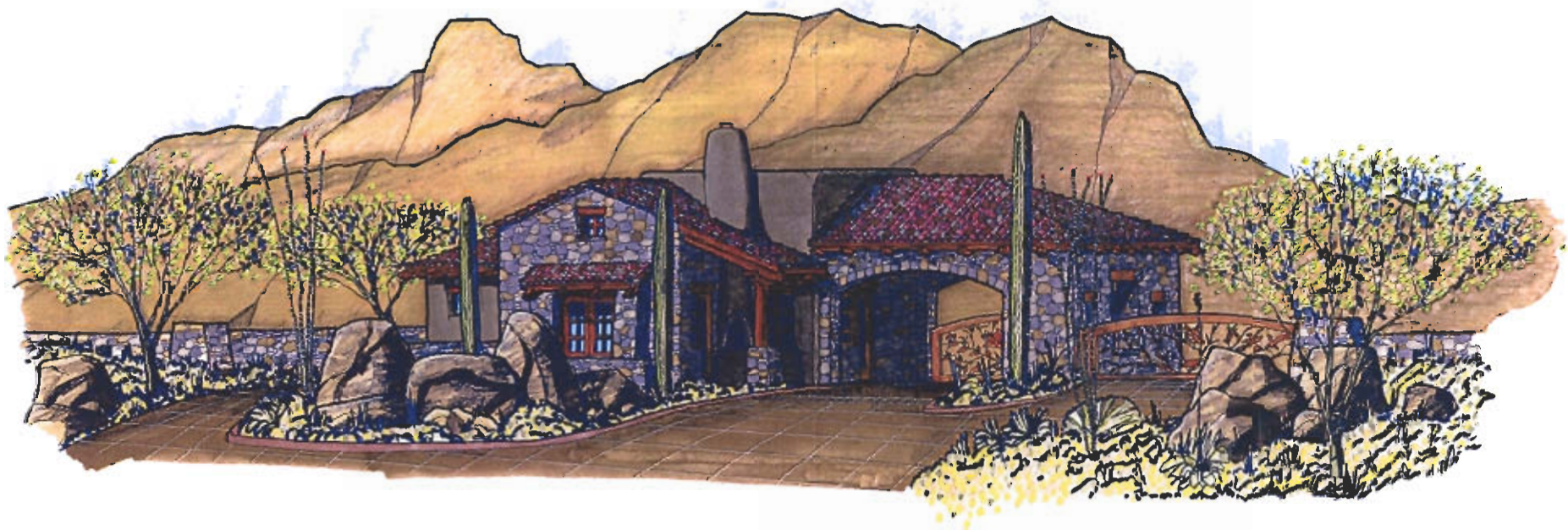


NORTH ELEVATION

25-PP-2004  
REV: 3/24/2006

PRELIMINARY EXTERIOR ELEVATIONS





25-PP-2004  
REV: 3/24/2006

RENDERED EXTERIOR ELEVATION

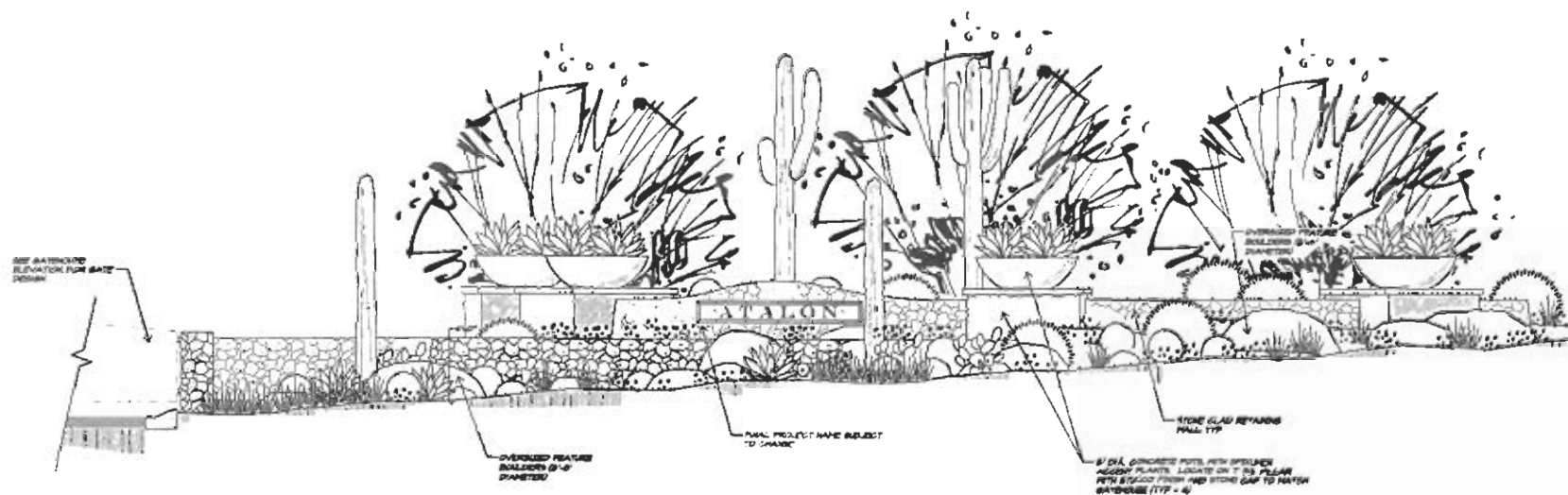
WTS.



A LIMITED LIABILITY  
CORPORATION  
RED BIRD ROAD & 118TH STREET  
SCOTTSDALE, AZ

PREPARED FOR  
RED BIRD PROPERTY  
URBAN DESIGN architecture  
ASSOCIATES LTD., AIA  
480-905-1212  
8108 N. 86TH PLACE SCOTTSDALE, ARIZONA 85258

*Urban*



PRIMARY MONUMENT SIGN / LANDSCAPE FEATURE WALLS

N.T.S.

25-PP-2004  
REV: 3/24/2006



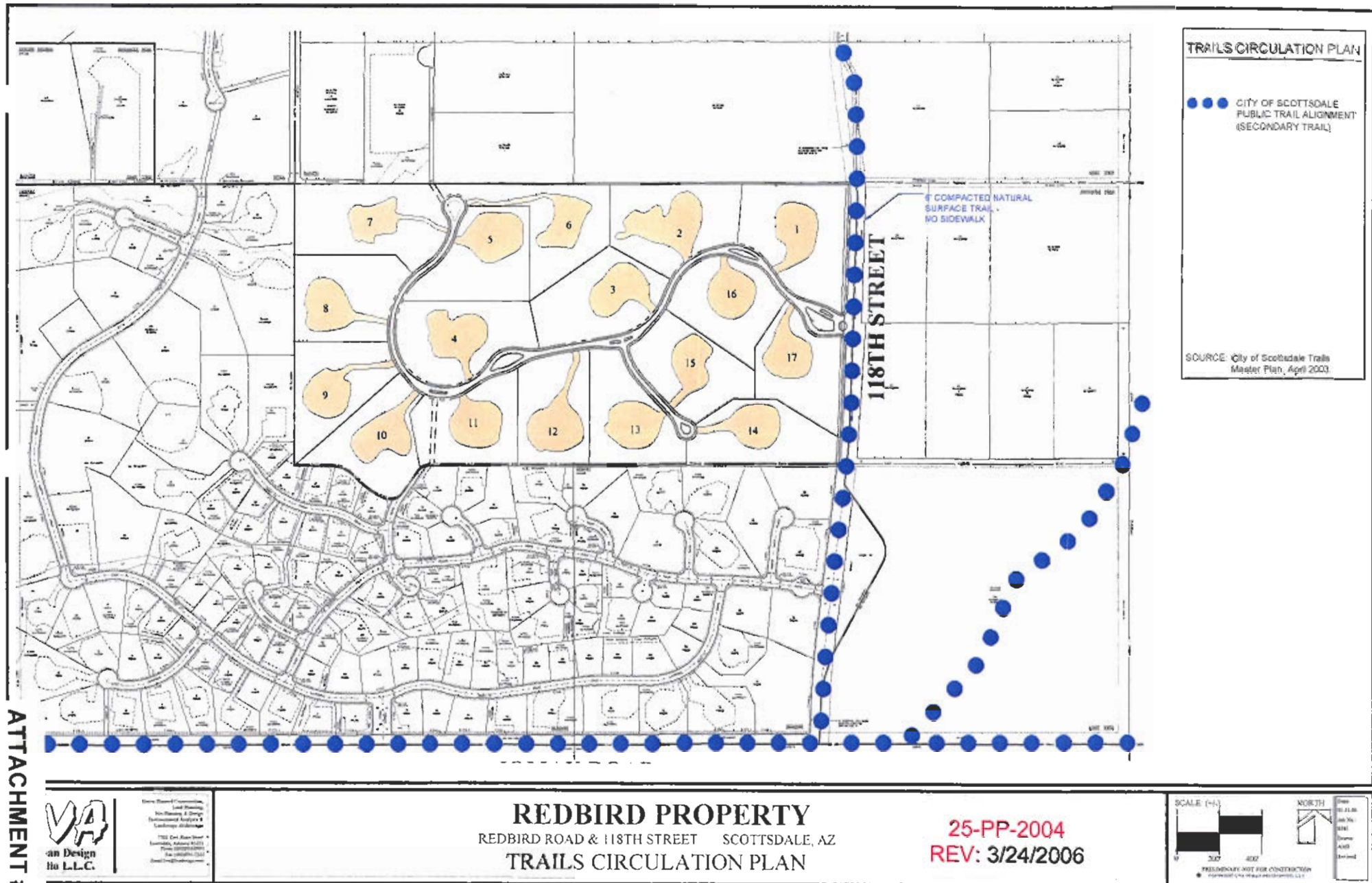
Master Planned Communities,  
Land Planning,  
Site Planning & Design,  
Environmental Analysis &  
Landscape Design  
1802 East Main Street  
Scottsdale, Arizona 85261  
Phone: (480) 344-7338  
Fax: (480) 344-7338  
www.lva-design.com

# REDBIRD PROPERTY

118TH STREET AND REDBIRD

**PRELIMINARY**  
NOT FOR CONSTRUCTION

Date:  
1-06-06  
Job No.:  
0341  
Drawn:  
JMY  
Revised:





Redbird Property  
NWC 118<sup>th</sup> St  
and Redbird Rd.  
Scottsdale, AZ

## FIRE ORDINANCE REQUIREMENTS

(INCORPORATE THE DESIGNATED STIPULATIONS INTO FINAL PLAT)

- ☒ 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
  - ☒ 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.  
  
ingress & egress drives shall be minimum 20'-0"  
wide
  - ☐ 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.
  - ☒ 4. PROVIDE A KNOX ACCESS SYSTEM:
    - ☐ A. KNOX BOX
    - ☐ B. PADLOCK
    - ☒ C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.
  - ☐ 5. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°.
  - ☒ 6. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
  - ☒ 7. NUMBER OF FIRE HYDRANTS REQUIRED, 6. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF        AT        GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.
  - ☒ 8. SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
  - ☒ 9. MODIFIED NFPA 13-D SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS.
  - ☐ 10. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.
  - ☐ 11. NFPA (2002 EDITION) COMMERCIAL SYSTEM / DESIGN CRITERIA:
  - ☐ 12. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.
  - ☒ 13. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.
  - ☒ 14. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x        (NSHT)
    - ☐ 4' TO 8' BACK OF CURB; INDEP. WET LINE.
    - ☐ WALL MOUNTED - 15' CLEAR OF OPENINGS.
  - ☒ 15. PROVIDE A LOOPED WATER MAIN SYSTEM,
- ALL STREET & PRIVATE DRIVEWAYS SHALL BE DESIGNED TO A MIN. 100 YEAR STORM FOR EMERGENCY VEHICLE ACCESS.

## ATTACHMENT A

## **Stipulations for Case: 25-PP-2004**

### **Case Name: Redbird Property**

Unless otherwise stated, the developer agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

### **Applicable Documents, Plans, And Relevant Cases**

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1. The improvement plans and plat shall be in substantial conformance to the following documents except as required by the Revised Scottsdale City Code, and the stipulations herein:

#### **General Documents**

- a. The location and configuration of all site improvements shall be constructed to be consistent with the Preliminary Plat submitted by G2 Consulting and Engineers, Inc., dated 03/24/2006 by City staff.
- b. The Design Standards and Policies Manual (DS&PM).

#### **Planning Documents**

- c. Each lot shall be constructed to comply with the Amended Development Standards submitted by LVA Urban Design Studio, dated 03/24/2006 by City staff.
- d. Each lot shall be constructed to comply with the building setback exhibit submitted by LVA Urban Design Studio Development Envelope Plan, dated 03/24/2006 by City staff.
- e. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by LVA Urban Design Studio, dated 03/24/2006 by City staff.
- f. The Conceptual Walls Design by LVA Design Studio, dated 03/24/2006 by City staff.
- g. The NAOS, including quantity, size, and location shall be installed to be consistent with the Natural Area Open Space (NAOS) Analysis exhibit submitted by LVA Design Studio, dated 01/30/2006 by City staff.

#### **Engineering Documents**

- h. Water Master Plan for Redbird 75 acres; prepared by G2 Consulting Engineers, accepted on 10-5-04.
- i. Wastewater Design Report for 75 acres Redbird 75 acres; prepared by G2 Consulting Engineers, accepted on 10-5-04.
- j. Master Drainage Plan for Redbird 75 acres; prepared by G2 Consulting Engineers, accepted on 10-5-04.
- k. Preliminary Grading and Drainage Plan for Redbird 75 acres; prepared by LVA Urban Design Studios, dated 10-25-05.
- l. Context aerial dated 10-25-05.

#### **Relevant Cases**

- m. At the time of review, the applicable Zoning case for the subject site were: 33-ZN-1982

## **Subdivision Plat Requirements**

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### **Subdivision Design**

#### **DRB Stipulations**

2. The legislative amended standards shall be revised prior to final plans submittal to show the allowed height will be 24 feet measured from natural grade.
3. Lots 2 and 6 shall return to the Design Review Board at the time of Lot design/development for home-site placement and improvements. This shall be noted on the Plat.
4. The owner of the adjacent lot (216-79-011K) shall be notified by the applicant when Lots 2 and 6 are submitted for DRB Review and/or building permits.
5. Boulder features shall be dedicated on the Plat as shown on the Boulder Analysis prepared and dated 04-11-06 by LVA.
6. The Guardhouse shall be provided within a tract and will be the responsibility of the HOA.
7. The landscape walls shall be located within tract(s). If the walls are not within a tract the maximum height shall be three (3) feet.
8. Prior to final plans submittal the applicant shall submit for the abandonment of the existing roadway easements.
9. Prior to final plans the applicant shall process a Release of Easement application for the existing Public Utility Easements.
10. Concurrent with the final plans the applicant shall include a setback exhibit for review and approval. This exhibit may be included on the construction envelope exhibit.
11. Prior to final plans the applicant shall have obtained approval for the water feature from Water Resources and include the approval with the plans submittal.
12. The final plat and the final improvement plans shall identify the ownership, use and the maintenance responsibilities of any land not used for residential lots.
13. The homeowners' association shall be responsible for the maintenance of the exterior perimeter walls. The developer shall note this requirement on the final plat.
14. Provide the following note on the final plat: Each lot contains a maximum construction envelope approved by the City of Scottsdale's Development Review Board. Construction envelope configuration may be subject to modification, but shall not exceed the envelope area as approved by the City of Scottsdale Development Review Board. The construction envelope exhibit is on file at the City of Scottsdale. No improvements shall be located outside of the construction envelope.
15. Provide the following note to the final plat: Land designated as Natural Area Open Space (NAOS) shall be permanently maintained as natural desert space pursuant to the City of Scottsdale's Environmentally Sensitive Lands Ordinance. Designated NAOS areas shall not be accepted for the maintenance, or property ownership by the City of Scottsdale without expressed action of the City of Scottsdale's City Council. Before any improvement is accepted, it shall meet City standards. Failure to maintain the designated NAOS areas could result in a civil action brought by the City for costs incurred by the City of Scottsdale for maintenance and preservation.
16. Add the following note on the final plat: This plat has dedicated a total of 39.6 acres of NAOS. Natural Area Open Space as dedicated by this plat shall never be released or reduced unless equal size and quality NAOS area is provided.
17. The driveway improvements, screen wall landscape, NAOS and development envelope of Lot 6 shall be in substantial conformance to the exhibit "Cross Section and Spatial Context analysis", submitted by LVA Urban Design Studio and dated 3/24/06 by city staff. The revegetation shall include five (5) 36-inch box (minimum 3-inch caliper) native trees. The screen wall shall be natural native stone. No lighting will be allowed on or within the screen walls.



**Ordinance**

- A. *The developer shall provide a separate, dimensioned, building envelope exhibit with the final plat review.*
- B. *All cuts and fills exceeding eight (8) feet measured from inside of the enclosure shall return to the Development Review Board for approval.*
- C. *Building height shall not exceed 24' feet measured from natural grade.*

**Street Dedication Requirements****Ordinance**

- D. *The developer shall provide the following street rights-of-way:*

<b>STREET NAME</b>	<b>STREET TYPE</b>	<b>R.O.W. DEDICATION</b>
118 <sup>th</sup> Street	Major collector	Half Street
Internal Street	Local Residential	ESL Road Design Standards, per Fig. 700-5, Local Residential Street, and 700-6, Residential Cul-de-sac Street

**Easements****DRB Stipulation**

## 18. Trail Easement:

Prior to final plan approval, the developer shall dedicate a minimum 15 foot-wide public trail easement along 118<sup>th</sup> Street. The applicant shall be responsible for coordinating the approved trail alignment with the City's Trail Coordinator. The alignment shall be determined prior to submission of final plans.

## 19. Sight Distance Easements

Sight distance easements shall be dedicated over sight distance triangles. Sight distance triangles shall be pursuant to figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.

Provide the following note on final plat: Sight distance easements shall be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet as determined by the City of Scottsdale.

## 20. Vehicular Non-Access Easement:

Prior to final plan approval, the developer shall dedicate a 1-foot wide vehicular non-access easement along the property frontage on 118<sup>th</sup> Street except at the approved driveway location.

## 21. Indemnity Agreements:

When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

**Ordinance**E. *Drainage Easement:*

- (1) *Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, for all washes having a discharge rate of 50 cfs or more, for all FEMA regulatory floodways to the extent of the 100-year base flood elevation, and for all stormwater storage basins. The plat shall state that all drainage and flood control easements shall be dedicated to the City with maintenance responsibility for drainage facilities and detention basins to be that of the property owner and/or the Homeowners Association.*

*F. Waterline and Sanitary Sewer Easements:*

- (1) *Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water and sewer easements necessary to serve the site.*

*G. Vista Corridor Easements:*

- (1) *All vista corridor easements shall be dedicated to the City as drainage and flood control easements, with maintenance the responsibility of the owner.*

*H. Public Utility Easement:*

- (1) *An 8-foot wide public utility easement shall be dedicated along both sides of internal streets. The 8-foot wide easements may be reduced or eliminated upon approval of the public utility companies.*

*I. An Natural Area Open Space Easement (NAOS):*

- (1) *A NAOS easement shall be dedicated to the City of Scottsdale for all areas designated as NAOS*

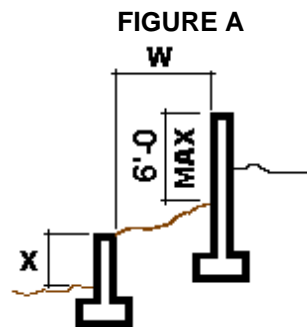
## **Final Improvement Plan Requirements**

### **PLANNING**

#### **Walls, And Fence Design**

##### **DRB Stipulations**

22. All walls shall match the architectural color, materials and finish of landscape feature walls exhibit submitted by LVA Design Studio dated 3/24/2006 by city staff.
23. Walls within a sight visibility triangle shall not exceed 2 feet, 0 inches measured from nearest street line as described in the DS&PM.
24. Any retaining wall and fence wall combination (a fence wall on top of a retaining wall) adjacent to streets, washes, open space, vista corridors, scenic corridors shall not have a visual height greater the 6-feet. Wall combinations that have a visual height greater than 6 feet, shall be stepped or broken up through the use of multiple retaining wall as shown Figure A.



The height of any individual retaining wall, within the stepped wall combination, shall not exceed a maximum of 6 feet, “x” dimension shown on Figure A. The separation between step walls, “w” dimension shown on Figure A, shall be a minimum of 4 feet when the lower retaining wall “x” has a visual height up to 4 feet. The minimum separation, “w” dimension shown on Figure A, shall be equal to the height of the “x” dimension when the visual height of “x” is greater than 4 feet

All walls located within required front yard setbacks shall comply with height limitations included within the residential district.

#### **Ordinance**

- J. *Site walls permitted by this ordinance shall be setback a minimum of 15 feet from the side and rear property lines.*
- K. *All signage shall receive separate review and approval.*
- L. *All walls and fence colors shall not exceed a light reflective value of 35 percent. All wall and fence colors shall not exceed a value of six (6) and a chroma of six (6) as indicated in the Munsull Book of Color on file in the Planning Systems department.*

#### **Natural Area Open Space (NAOS)**

##### **DRB Stipulations**

25. NAOS shall be dedicated with the Final Plat.
26. NAOS that is dedicated over a Public Utility Easement shall be counted as revegetated NAOS
27. NAOS shall not be dedicated within 5-feet of any building
28. NAOS areas dedicated within 10-feet of any building shall be considered revegetated NAOS.



29. NAOS areas dedicated within 5-feet of any wall shall be considered revegetated NAOS.

**Ordinance**

- M. NAOS dedications shall meet width and contiguous area requirements per ESLO standards.*
- N. No structures shall be allowed within the NAOS dedication.*

**Construction Envelope Exhibit**

**DRB Stipulations**

30. Add the following note: The final construction envelope exhibit: "Major Modification to the development envelope exhibit shall require the approval of the Development Review Board."

**Ordinance**

- O. The developer shall provide a separate dimensioned construction envelope exhibit with the improvement plan review.*
- P. The construction envelope exhibit shall clearly show the locations of the boulder features and dimension the required non-development 20-foot setback.*
- Q. With the exception of the driveways, the proposed construction envelopes shall not exceed the minimum required setbacks.*

**Landscape Design**

**DRB Stipulations**

- 31. All plant material shall be selected from the ESLO indigenous plant list and the "PHX AMA" plant list for all disturbed areas unless enclosed by yard walls and do not have the potential to exceed 20 feet in height.
- 32. Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.
- 33. Salvaged vegetation shall be incorporated into the landscape design.
- 34. Provide the following note: Area within a sight distance triangle shall be clear of landscaping, signs, or other visibility obstructions with a height greater than 2 feet. Trees within a sight distance triangle shall have a canopy that begins at 7 feet in height upon installation. All heights are measured from nearest street line.
- 35. All roadway tracts shall be landscaped and maintained by the developer and/or homeowner association.

**Ordinance**

- R. Fifty percent of trees shall be mature, as defined in Article III of the Zoning Ordinance. Indicate both the compliant caliper and industry standard box size for that caliper in the plant palette.*

**Exterior Lighting Design**

**DRB Stipulations**

- 36. No lighting shall be permitted in dedicated NAOS easements, and Vista Corridor easements.
- 37. All exterior building luminaries shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign lighting.
- 38. Incorporate into the project's design, the following:
  - Gate House Design And Amenity Feature Design
    - a. Fixtures shall be a flat black or dark bronze finish.

- b. Path light fixtures shall utilize an incandescent, halogen incandescent, or compact fluorescent lamps source.

#### Landscape Lighting

- c. All landscape lighting directed upward shall utilize the extension visor shields to limit the view of the lamp source.
- d. Fixtures shall be a flat black or dark bronze finish.
- e. Landscaping lighting shall only be utilized to accent plant material.
- f. All landscape lighting directed upward, shall be aimed away from property line.
- g. All landscape lighting hanging in vegetation, shall contain recessed lamps, and be directed downward and away from property line.
- h. The landscape lighting lamp shall be an incandescent or halogen incandescent source.

#### Path lighting

- i. Path light fixtures shall meet all IESNA requirements for cutoff.
- j. Fixtures shall be a flat black or dark bronze finish.
- k. Path light fixtures shall utilize an incandescent, halogen incandescent lamps source.

#### Ordinance

- S. The landscape light lamps shall not exceed 15 watts.*
- T. Building mounted light lamp shall not exceed 50 watts for incandescent sources, 25 watts for halogen.*
- U. Building mounted lighting shall not exceed a height of 6 feet.*
- V. The path light lamps shall not exceed 35 watts.*

#### **Additional Planning Items**

#### **DRB Stipulations**

- 39. Flagpoles, if provided, shall be one piece, conical, and tapered.
- 40. As part of the sales of any residential lot adjacent to a public trail, path, or commercial property, the developer shall require the purchaser to sign an acknowledgement that the property is adjacent to a public trail, path, or commercial property.

## ENGINEERING

### Drainage And Flood Control

#### DRB Stipulations

41. Demonstrate consistency and conformance with accepted drainage plans and reports from Section I, Applicable Engineering Documents and Plans.

The developer shall submit two (2) hard copies and one (1) compact disc copy of complete final plans/reports prior to final City of Scottsdale approval of the improvement plans.

42. Basins shall be designed such that the depth of water does not exceed 3 feet for all storm frequencies up to the 100-year, 2-hour event.
43. Basin sideslopes shall not exceed 4:1 (ratio of 4 feet horizontal to 1 foot vertical) wherever practical. Sideslopes greater than 4:1 may be used to lessen disturbance to the site. All basins shall have some portion of their perimeter at a sideslope that does not exceed 4:1.
44. Basins shall be designed to have positive outfall whenever practical. When positive outfall cannot be provided, then mechanical means shall be used to drain the basin. Percolation, including dry wells, shall not be allowed. Provide bleed-off calculations that demonstrate the discharge rate and the time to drain.
45. All 404 jurisdictional delineations shall be shown on the final improvement plans and the final drainage report drainage exhibit/plan. All areas of disturbance shall be clearly noted. A completed 404 Certification Form shall be submitted with final improvement plans. A copy of the 404 permit from the U.S. Army Corps of Engineers, including an exhibit showing the delineations, shall be submitted prior to approval of final improvement plans. Limits of disturbance and other conditions must be in conformance with the 404 permit.
46. All onsite erosion protection and floodwalls necessary to protect residential structures from flooding, within a given parcel, shall be constructed as infrastructure improvements for that parcel, even if they are located in a different parcel, prior to the issuance of building permits in that parcel.
47. Provide positive drainage away from walks and curbs along all streets.
48. Riprap shall be indigenous stone.
49. All exposed cut and fill shall be treated with eonite or equivalent.

#### Ordinance

- W. On-site stormwater storage is required for the full 100-year, 2-hour storm event. The design of the storage basin capacity shall account for any proposed landscaping improvements. The landscaping improvements within the basins shall not reduce the capacity of the basins under the required volume.
- (1) Basin bleed-off rates shall be set so that the storage basins do not drain completely in less than 24 hours. In all cases, storage basins must drain completely within 36 hours.
  - (2) Infiltration of stormwater through the basin floor is not acceptable as the sole means of draining the basin. Stormwater storage basins should be designed to meter flow to the historic out-fall point. Where an historic out-fall point does not exist (or metering is not possible), other methods of discharge such as pumps, etc. may be considered. Dry wells shall not be used.
  - (3) Stormwater storage basins may not be constructed within utility easements or dedicated right-of-way (exceptions may be granted with written approval from appropriate utility company).
  - (4) Off-site runoff must enter and exit the site as it did historically.
  - (5) All development shall be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.



## X. Other Stormwater Storage:

Underground stormwater storage is prohibited unless approval is obtained from the City's Floodplain Administrator.

Drywells are not allowed.

## Y. Street Crossings:

Watercourse crossings for roads shall be designed to provide for 100-year access to all lots by at least one route. Accessibility will be considered to exist if it can be shown by the engineer that at the time of the peak flow, the depth of flow over the road will not be greater than 1 foot.

**Roadway, Intersection, And Access Design****DRB Stipulations**

## 50. Streets and other related improvements:

<b>STREET NAME</b>	<b>STREET TYPE</b>	<b>ROADWAY IMPROVEMENT</b>	<b>CURB TYPE</b>	<b>BIKE PATH, SIDEWALK, TRAILS</b>
118 <sup>th</sup> Street (Public)	Major Collector	Half street (Street dimensions per DS & PM unless approved by the City of Scottsdale traffic engineering dept.)	Roll	Trail easement is required, minimum 6' natural surface trail separated from the back of curb.
Internal Street (Private)	Local Residential.	ESL Road Design Standards, per Fig. 700-5, Local Residential Street, and 700-6, Residential Cul-de-sac Street	Roll/ribbon	Extend pedestrian access into site from 118 <sup>th</sup> Street around vehicular gate.

51. Where a gated entrance is proposed, the developer shall design and construct the gated entrance in conformance with Figure 8.1-1 of the City's Design Standards and Policies Manual, and the approved Circulation Master Plan. Entrance on 118<sup>th</sup> Street needs to be narrower than the proposed 80 feet.
52. The internal streets shall be private. The private street tracts shall be dedicated to provide emergency and service vehicle access and public utility construction and maintenance.
53. 118<sup>th</sup> Street may be subject to left and right turn lanes, deceleration lanes, and median breaks improvements as conceptually identified in the approved Circulation Master Plan, unless otherwise approved by the City of Scottsdale Transportation Department General Manager.
54. The developer shall contact the City's Transit Coordinator with the Transportation Department at 480-312-7696 about all transit facilities required to be constructed with the proposed development, including the construction of bus shelters.

**Ordinance**

- Z. The developer shall submit a detailed striping and signage plan with final plans. The striping and signage plan shall include all existing improvements and striping within 300 feet of the limits of construction, and all signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.
- AA. Public streetlights shall be installed in accordance with City of Scottsdale Revised Code, Section 48-149. The developer shall be responsible for coordinating a street layout and cost estimate with

the utility company. Building permits may not be issued until all street light arrangements (including fee requirements) have been made.

### **Trails And Paths**

#### **DRB Stipulations**

55. Before any certificate of occupancy is issued for the site, the developer shall construct a minimum 8-foot wide public trail within a 15-foot public trail easement along 118<sup>th</sup> Street. The trail shall be buffered from parking areas and from vehicles as much as possible.
56. The developer shall be responsible for coordinating the approved trail alignment with the City's Trail Coordinator. The alignment shall be determined prior to submission of final plans.
57. The developer shall construct all public paths (sidewalks) per the MEDCP along 118<sup>th</sup> Street in accordance with the MAG Standard Details as determined by the Plan Review Staff.
58. The developer shall provide signage for all trails per Section 7.3 of the City's Design Standards & Policies Manual. The location and design of the signs and markers shall be shown on the final improvement plans to the satisfactions of Parks and Recreation staff.

### **Refuse**

#### **Ordinance**

- BB. Underground vault-type containers are not allowed.
- CC. Refuse collection methods, i.e., site plan circulation, will be approved at final plan review.
- DD. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

### **Water And Wastewater Stipulations**

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements.

#### **DRB Stipulations**

59. BASIS OF DESIGN REPORT (WATER). Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall submit a Basis of Design Report and plan to the One Stop Shop in Development Services. The report must be approved by the Water Resources Department **before** the developer submits the improvement plans to the One Stop Shop. The Basis of Design Report shall conform to the Design Standards and Policies Manual. In addition, the Basis of Design Report and plan shall:
  - a. Identify the location, size, condition and availability of existing water lines and water related facilities such as water valves, water services, fire hydrants, back-flow prevention structures, etc.
  - b. Identify the timing of and parties responsible for construction of all water facilities.
  - c. Include a complete description of requirements relating to project phasing.
  - d. Identify the location of required pressure reducing valve locations as applicable, and provide the results of a pressure flow test.
60. BASIS OF DESIGN REPORT (SANITARY SEWER). Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall submit a Basis of Design Report and plan to the One Stop Shop in Development Services. The report must be approved by the Water Resources Department before the developer submits the improvement plans to the One Stop Shop. The Basis of Design Report shall conform to the Design Standards and Policies Manual. In addition, the Basis of Design Report and plan shall:

- a. Identify the location of, the size, condition and availability of existing sanitary sewer lines and wastewater related facilities.
  - b. Identify the timing of and parties responsible for construction of all sanitary sewer facilities.
  - c. Include a complete description of requirements relating to project phasing.
  - d. Clearly identify water sampling station locations as applicable.
61. APPROVED BASIS OF DESIGN REPORTS. **Before** the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall have obtained approval of the Basis of Design Reports for Water and Wastewater.
62. Whenever looped or outfall lines are required outside the roadway prism, the lines may be located within an easement on a lot (as accepted by the Water Resources Department) with a 20-foot water/sewer easement overlaying the alignment. These alignments shall be graded and maintained in a manner that allows access for maintenance purposes, in accordance with the City's Design Standards and Policies Manual.
63. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:
- For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
- For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

### **Water**

#### **Ordinance**

- EE. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

### **Wastewater**

#### **Ordinance**

- FF. Privately owned sanitary sewer shall not run parallel within the waterline easement.

### **Bridge/Wash Crossing And Head Wall Design**

#### **DRB Stipulations**

64. All concrete headwalls and drainage structures shall be integrally colored to blend with the colors of the surrounding natural desert.
65. Bridges:
- All drainage crossings, including any configuration of box culverts or pipes that span 20 feet or more (as measured along the roadway centerline) shall be subject to review and approval by City staff.
- Bridge (or other crossings) finish shall be integrally colored Pima Beige.

## **Construction Requirements**

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### **As-Builts**

#### DRB Stipulations

66. Improvement plans that document all ongoing construction, including, but not limited to, field changes, as-built locations, or other modifications, shall be maintained at the construction site, and shall be made available to City staff for review upon request.
67. City staff may request the developer to submit as-built plans to the Inspection Services Division prior to acceptance of construction, or within one year from the date of acceptance.
68. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
69. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges, as determined by city staff.



**Summary Of Development Standards**

<b>Subdivision Name</b>	<b>Redbird Property</b>		
<b>Zoning</b>	<b>R1-190 ESL</b>		
	<b>Ordinance Requirements</b>		<b>Amended Standards</b>
Min. Lot Area	190,000sf		142,500sf
Min. Lot Width	300'		225'
Maximum Building Height	24'		24'
Min. Yard Setbacks			
Front Yard			
Front (to face of building)	60'		45'
Front (to face of garage)	60'		45'
Front (corner lot, side street)	60'		45'
Front (corner lot, adjacent to key lot, side street)	60'		45'
Front (double frontage)	60'		45'
Side Yard			
Minimum	30'		23'
Minimum aggregate			N/A
Rear Yard			
Standard Depth	60'		45'
Min. Depth (% of difference which can be occupied)			N/A
Patio*			N/A
Distance Between Buildings (Min)			
Accessory & Main	10'		10'
Main Buildings/Adjacent Lots	60'		45'
Maximum Wall Height			
Front	3'		N/A
Side	8'		N/A
Rear	8'		N/A
Corner side not next to key lot	8'		N/A
Corral fence height (on prop line)	6'		N/A
Development Perimeter Setbacks			
Notes & Exceptions			
See Legislative Draft for approved Development Standards.			